



DEVELOPMENT PERMIT NO. DP001119

NPR GP INC.

Name of Owner(s) of Land (Permittee)

4800 UPLANDS DRIVE / 6035 LINLEY VALLEY DRIVE

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 4, DISTRICT LOT 14, WELLINGTON DISTRICT, PLAN VIP65104,
PID No. 023-751-657**

**LOT 5, DISTRICT LOTS 14 & 30, WELLINGTON DISTRICT, PLAN
VIP65104
PID No. 023-751-665**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Building Elevations

Schedule D Parking Plans

Schedule E Landscape Plan and Details

Schedule F Retaining Wall/Allan Block Detail

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 14m to 16.62m.
2. *Section 6.10.2 Fence Height* – to increase the maximum fence height for the proposed landscaped terraced retaining walls within the front yard setback from 1.2m to 1.5m.
3. *Section 17.3.3.1 Slopes, Urban Plazas, and Refuse Receptacles* – to reduce the landscape screening requirement for the proposed in-ground refuse receptacles to eliminate the requirement for masonry walls.

CONDITIONS OF PERMIT

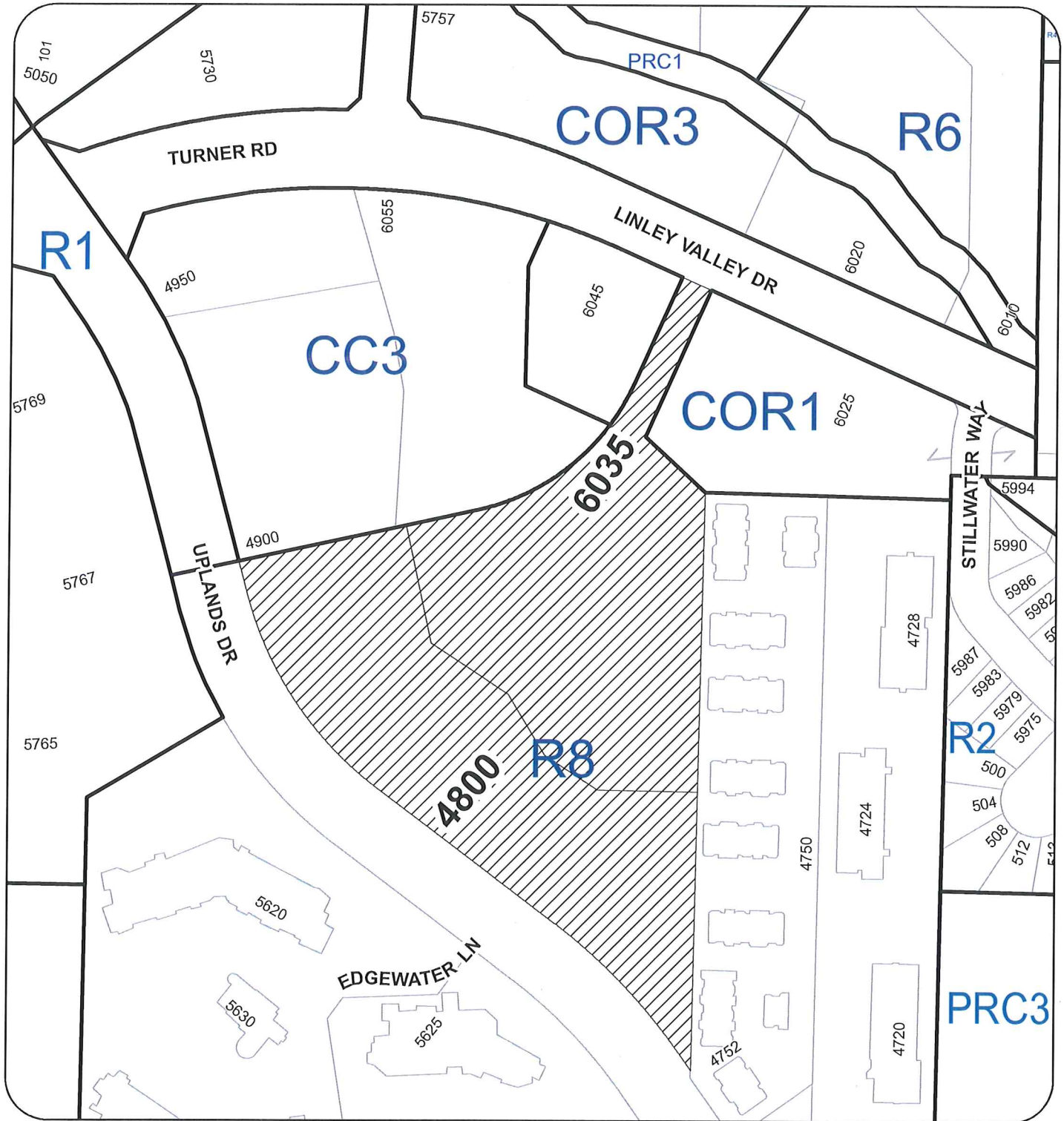
1. The subject property is developed in accordance with the Site Plan prepared by Harper Architecture & Design Inc., dated 2019-MAY-01 as shown on Schedule B.
2. The subject property is developed in substantial compliance with the Building Elevations prepared by Harper Architecture & Design Inc., dated 2019-MAY-01 as shown on Schedule C.
3. The subject property is developed generally in accordance with the Parking Plans prepared by Harper Architecture & Design Inc., dated 2019-MAY-01 as shown on Schedule D.
4. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by MacDonald Gray Consultants, received 2019-MAY-03 as shown on Schedule E.
5. The subject property is developed in substantial compliance with the Retaining Wall/Allan Block Details prepared by Lewkowich Engineering Associates Ltd., dated 2019-JAN-25 a shown on Schedule F.
6. Consolidation of the two subject properties (4800 Uplands Drive and 6035 Linley Valley Drive) will be required prior to building permit issuance.

AUTHORIZING RESOLUTION PASSED BY
COUNCIL THE **27TH** DAY OF **MAY, 2019.**

Shey Anoleme
D/ Corporate Officer

June 7, 2019
Date

Development Permit DP001119 Schedule A
6035 Linley Valley Drive and 4800 Uplands Drive
LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001119

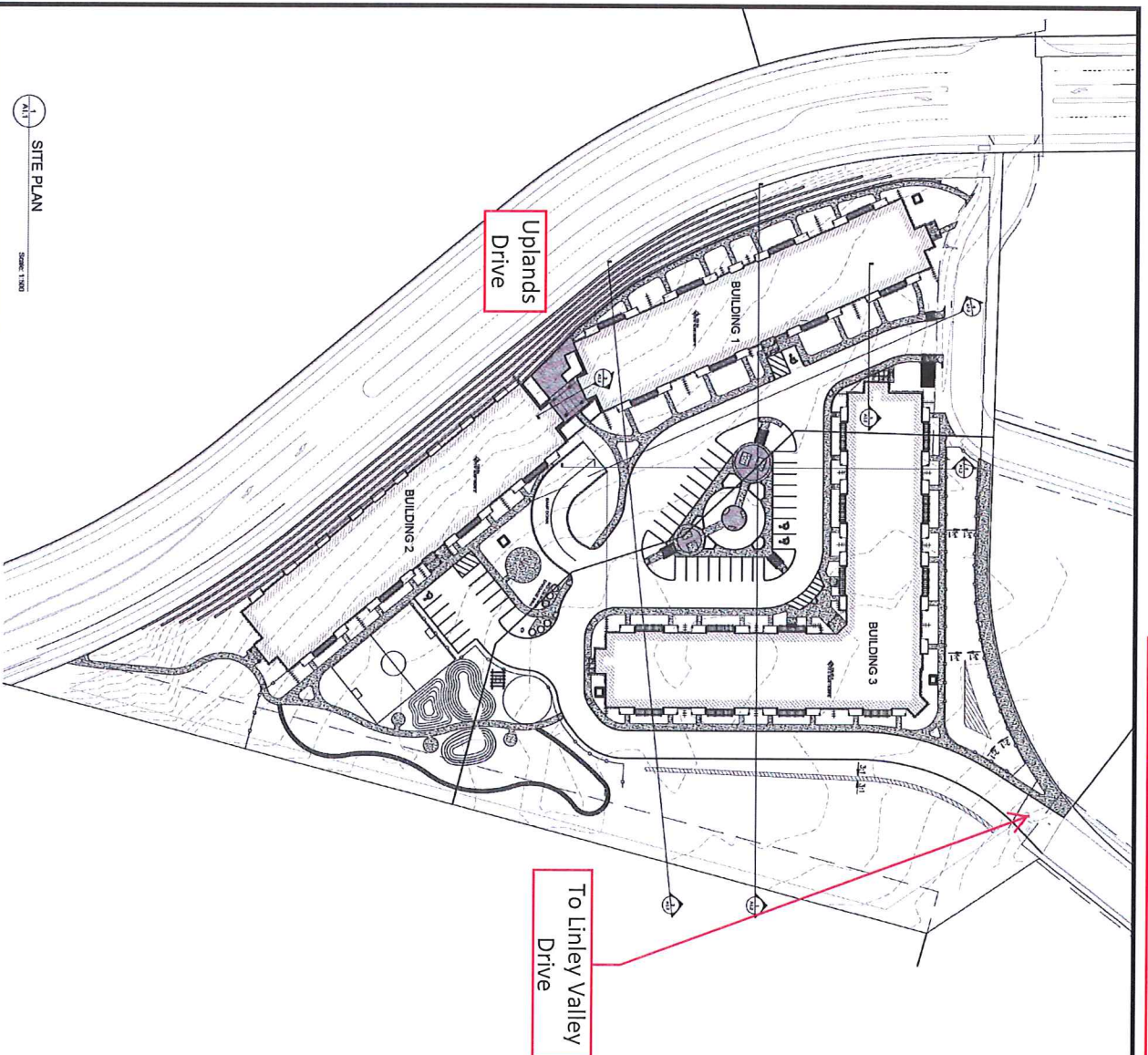
LOCATION PLAN

Civic: 4800 UPLANDS DRIVE & 6035 LINLEY VALLEY DRIVE
Legal: LOT 4, DISTRICT LOT 14, AND LOT 5, DISTRICT LOTS 14 & 30,
WELLINGTON DISTRICT, PLAN VIP65104



 Subject Property

Development Permit DP001119 Schedule B
 6035 Linley Valley Drive and 4800 Uplands Drive
SITE PLAN



ALT SITE PLAN
 SCALE: 1:500

LEGAL / MUNICIPAL ADDRESS
 LOTS 445, UPLANDS DRIVE - NANAIMO

ZONING DISTRICT R8
 MAX BUILDING HEIGHT 14M (FLAT ROOF OR VARIANCE FOR PODIUM)
 VARIANCE FOR DECORATIVE DORMERS.
 BUILDING SETBACK FRONT YARD 5M
 SIDE YARD 5M
 REAR YARD 10.5M

SITE COVERAGE 40% (21% PROPOSED)
 SITE AREA = 27,940m²
 FLOOR AREA = 5955m² (1686x2 + 2583)

FLOOR AREA RATIO MAX 1.25:1 (0.85% PROPOSED)
 DENSITY 251 UNITS PROPOSED
 DENSITY 90 UPHa / 36 UPa

OFF STREET PARKING 107 STALLS PER ONE BEDROOM UNIT &
 144 PER 2 BED ROOM = 337 REQUIRED
 (MIN 90% USE 303)
 TOTAL STALLS PROVIDED = 350
 INCL 312 U.G. (INCL 101 COMPACT STALLS)
 INCL 38 SURFACE (INCL 122 VISITOR = 17)
 PARKING REQUIREMENTS ARE BASED ON
 PARKING BYLAW No. 7266

BIKE STALLS 126 UNDERGROUND
 32 ABOVE GROUND
 TOTAL: 158

DEVELOPMENT SUMMARY
 BUILDINGS 1 & 2: (EACH BUILDING)
 70 UNITS *GYM 3 - 2 BED 2 BATH UNITS
 16 - 1 BED 1 BATH UNITS
 BUILDING 3:
 76 - 2 BED 2 BATH UNITS
 32 - 1 BED 1 BATH UNITS
 251 UNITS TOTAL: 177 - 2 BED 2 BATH UNITS
 10 - 2 BED 1 BATH UNITS
 64 - 1 BED 1 BATH UNITS

BUILDING 1: 1699 m² FOOTPRINT
 6753 m² GROSS FLOOR AREA
 BUILDING 2: 1699 m² FOOTPRINT
 6753 m² GROSS FLOOR AREA
 BUILDING 3: 3510 m² FOOTPRINT
 10403 m² GROSS FLOOR AREA
 23,909 m² TOTAL GROSS FLOOR AREA



ISSUE	DATE
1. 2-D PERMIT APPLICATION	2019.04.18
2. 3-D PERMIT APPLICATION	2019.04.18
3. CONCEPTUAL DEVELOPMENT	2019.04.18
4. PRELIMINARY DEVELOPMENT	2019.04.18
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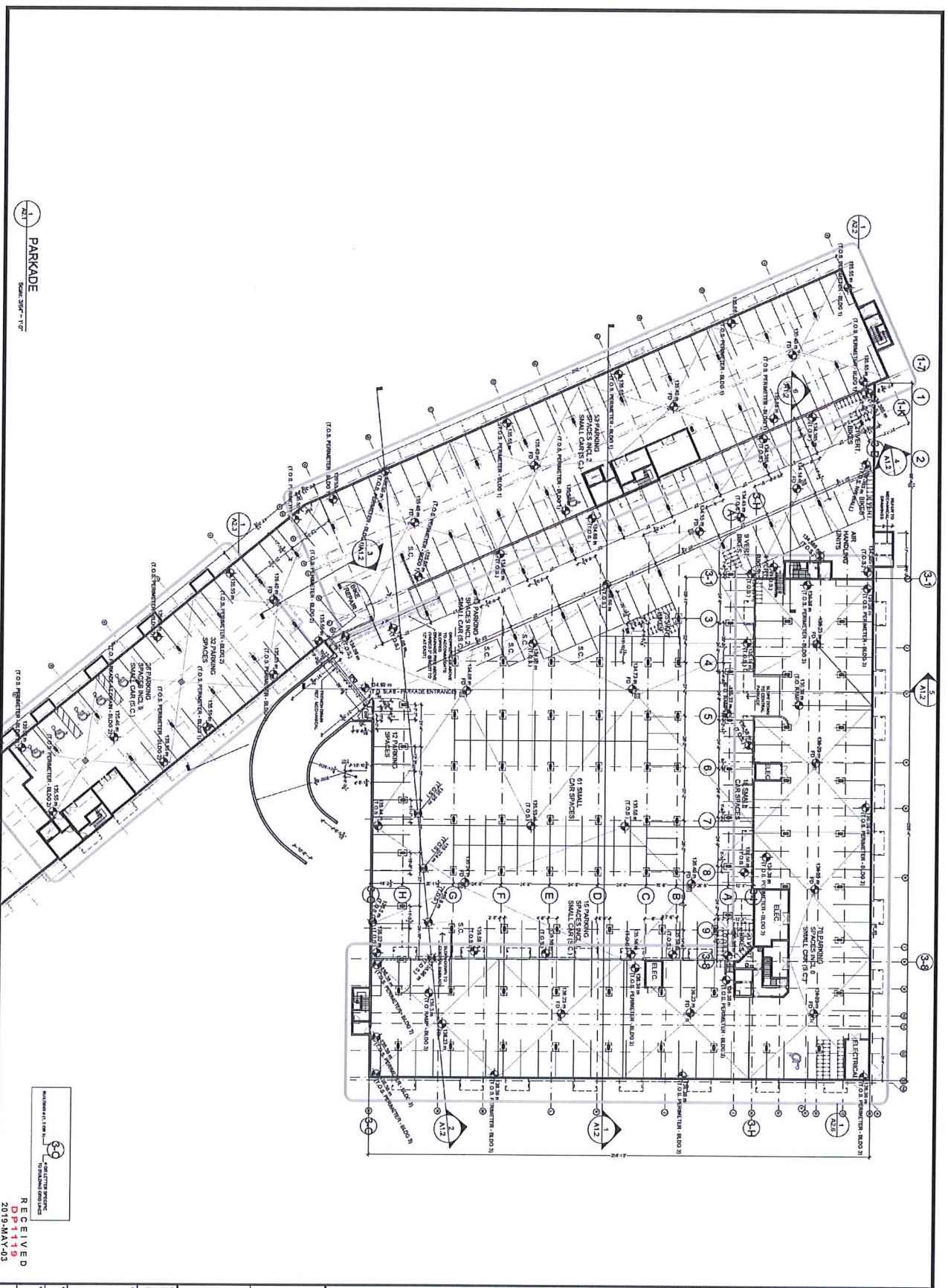
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Development Permit DP001119 Schedule C
 6035 Linley Valley Drive and 4800 Uplands Drive
BUILDING ELEVATIONS

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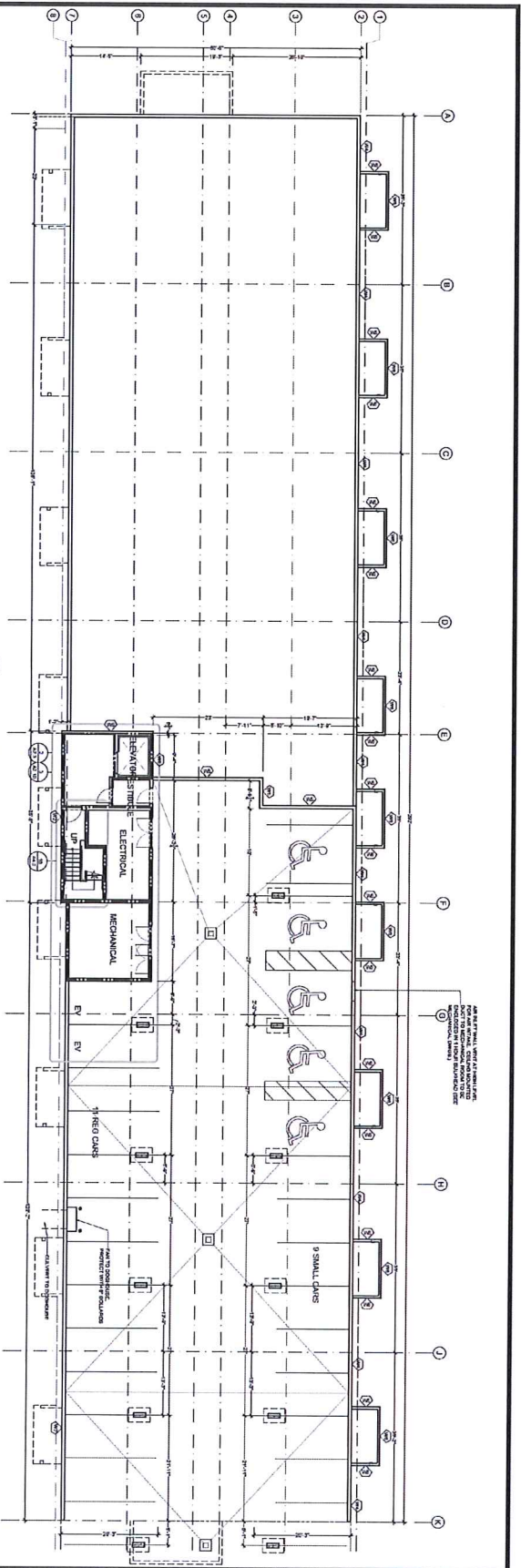
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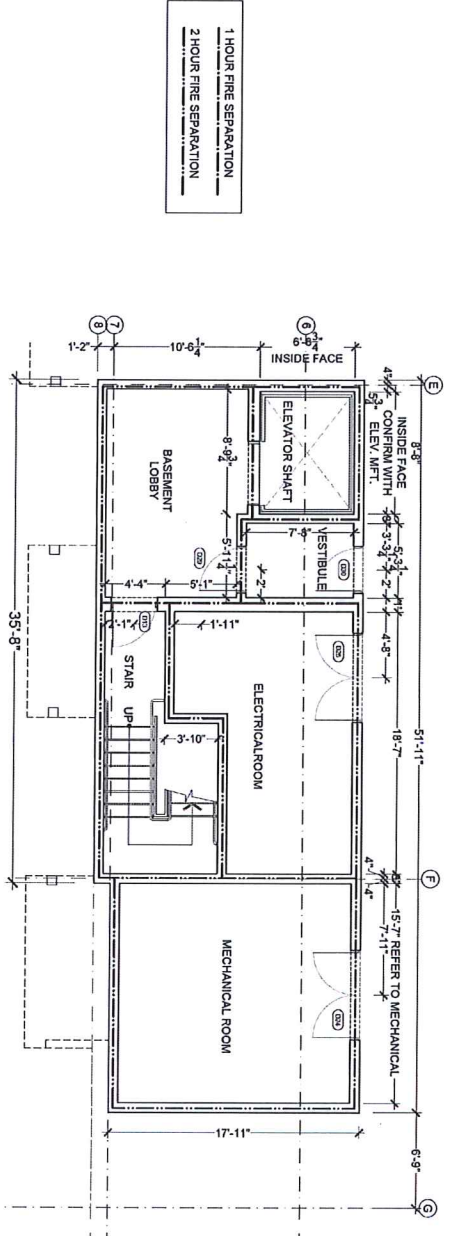
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<p>ISSUE</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2018.04.27</td> <td>ISSUE FOR PERMIT</td> </tr> <tr> <td>2</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>3</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>4</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>5</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>6</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>7</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>8</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>9</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>10</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>11</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>12</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>13</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>14</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>15</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>16</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>17</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>18</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>19</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> <tr> <td>20</td> <td>2018.05.02</td> <td>REVISIONS</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	2018.04.27	ISSUE FOR PERMIT	2	2018.05.02	REVISIONS	3	2018.05.02	REVISIONS	4	2018.05.02	REVISIONS	5	2018.05.02	REVISIONS	6	2018.05.02	REVISIONS	7	2018.05.02	REVISIONS	8	2018.05.02	REVISIONS	9	2018.05.02	REVISIONS	10	2018.05.02	REVISIONS	11	2018.05.02	REVISIONS	12	2018.05.02	REVISIONS	13	2018.05.02	REVISIONS	14	2018.05.02	REVISIONS	15	2018.05.02	REVISIONS	16	2018.05.02	REVISIONS	17	2018.05.02	REVISIONS	18	2018.05.02	REVISIONS	19	2018.05.02	REVISIONS	20	2018.05.02	REVISIONS
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A2.3 PARKADE FLOOR PLAN
SCALE: 3/32" = 1'-0"



A2.3 PARKADE FLOOR PLAN CORE
SCALE: 1/4" = 1'-0"

1 HOUR FIRE SEPARATION
2 HOUR FIRE SEPARATION

RECEIVED
DP 1119
2019-MAY-03

Northview
APARTMENT #117

1177 10th Street S.E.
Calgary, Alberta
T2C 1P5

NO.	ISSUE	DATE
1	ISSUE	2019-03-13
2	CONTRACT DOCUMENTATION	2019-03-13
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HARPER
ARCHITECTURAL INC.

1177 10th Street S.E.
Calgary, Alberta
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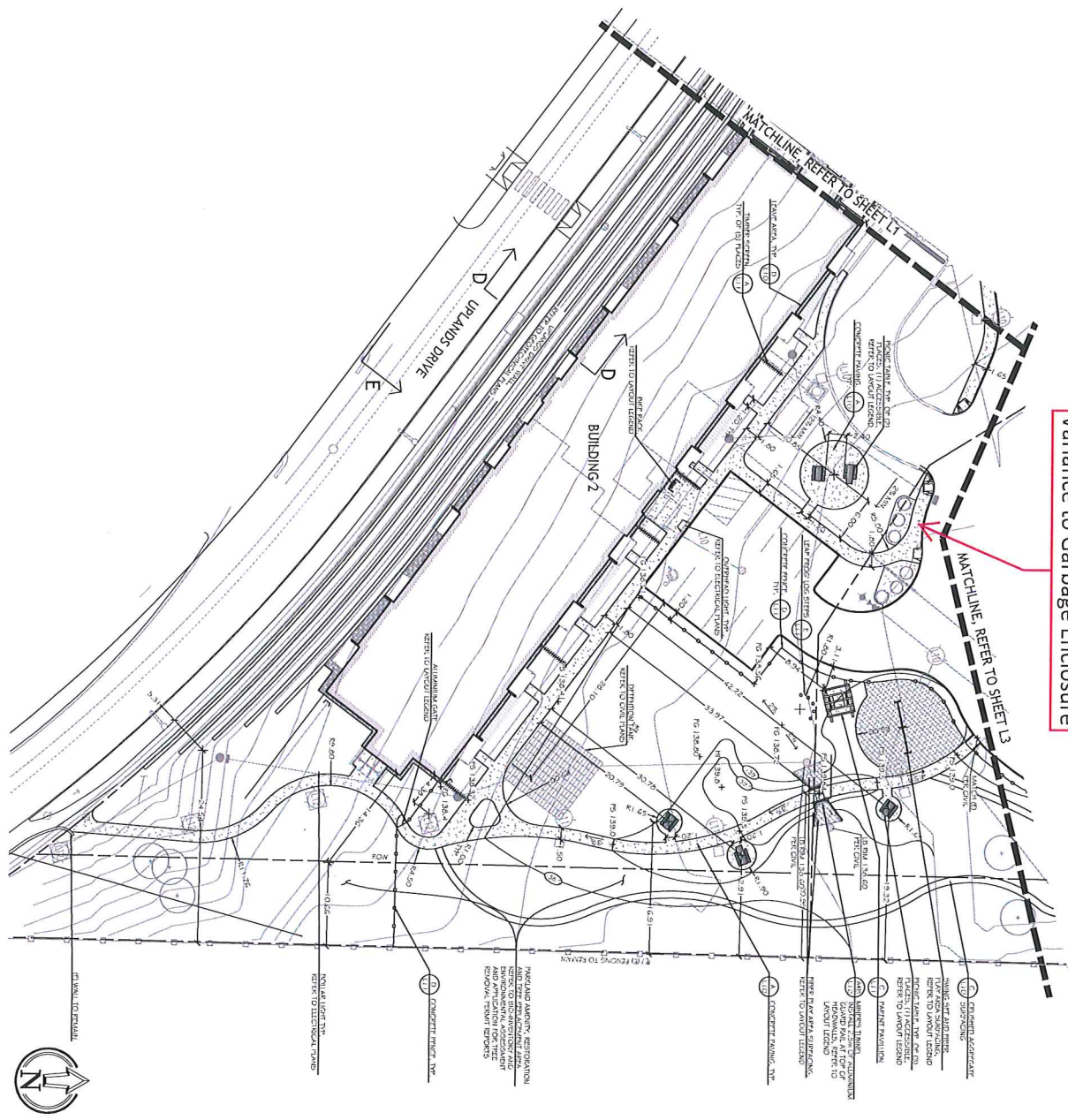
www.harperarchitectural.com

MULTI-RESIDENTIAL APT.
MANNING BERTHOUD COLLEMAN ASSOCIATES

PARKADE FLOOR PLAN
BUILDING 2

AS NOTED
1/15/19
ARCHITECTURAL

A2.3



Proposed Landscaping
Variance to Garbage Enclosure

- 1. CONCRETE PAVING, TYPE: CONCRETE PAVING, REFER TO TECHNICAL DRAWING
- 2. LANDSCAPE LIGHTING, TYPE: LANDSCAPE LIGHTING, REFER TO TECHNICAL DRAWING
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- 20. LANDSCAPE LIGHTING, TYPE: LANDSCAPE LIGHTING, REFER TO TECHNICAL DRAWING

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LANDSCAPE ARCHITECTURE
SITE PLAN

Date: May 3, 2019
Drawn: CM
Checked: NG
Scale: 1:250 metric
Project Number: 18-0212

DRAWING NUMBER: L2 of 15

#	Date	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for DP
2	17DEC2018	DAP Revisions
3	11JAN2019	Tender Review
4	24JAN2019	Issued for Tender
5	01FEB2019	Addendum #1
6	15FEB2019	Issued for BP
7	03MAY2019	Reissued for DP

LANDSCAPE ARCHITECTURE
SITE PLAN

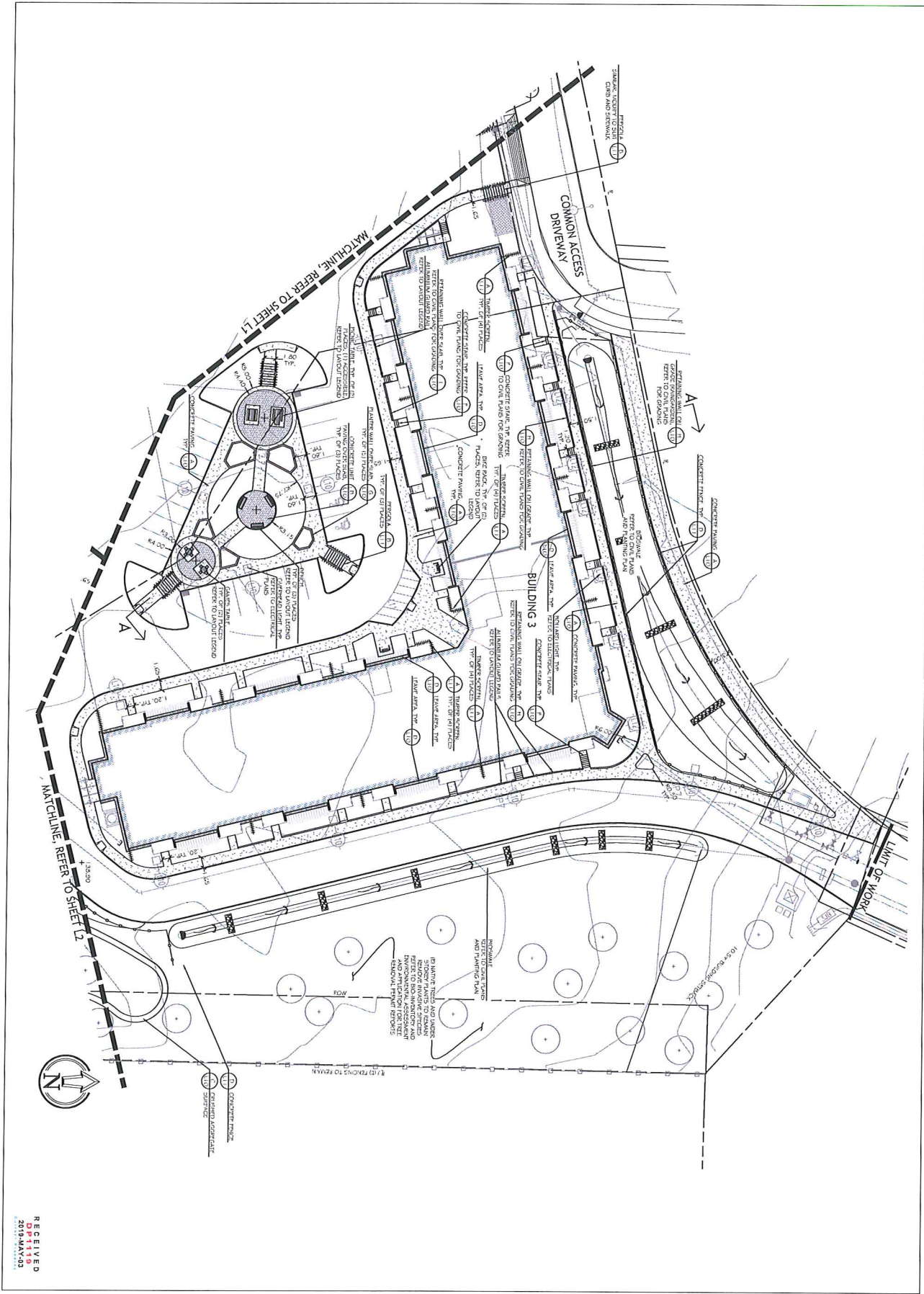
Date: May 3, 2019
Drawn: CM
Checked: NG
Scale: 1:250 metric
Project Number: 18-0212

DRAWING NUMBER: L2 of 15

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#	Date	NOTES
0	14SEP2018	Coordination Review
1	21SEP2018	Issued for DP
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3	11JAN2019	Tender Review
4	24JAN2019	Issued For Tender
5	01FEB2019	Addendum #1
6	15FEB2019	Issued for B/P
7	02MAY2019	Reissued for DP

**LANDSCAPE ARCHITECTURE
 SITE PLAN**

Date: May 3, 2019
 Drawn: CM
 Checked: NG
 Scale: 1:250 metric
 Project Number: 18-0212

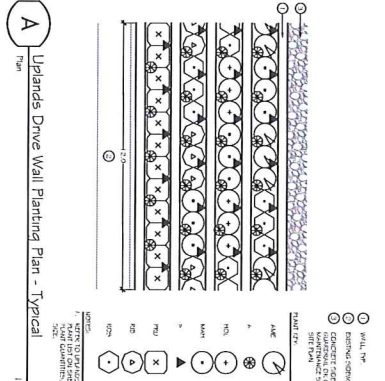
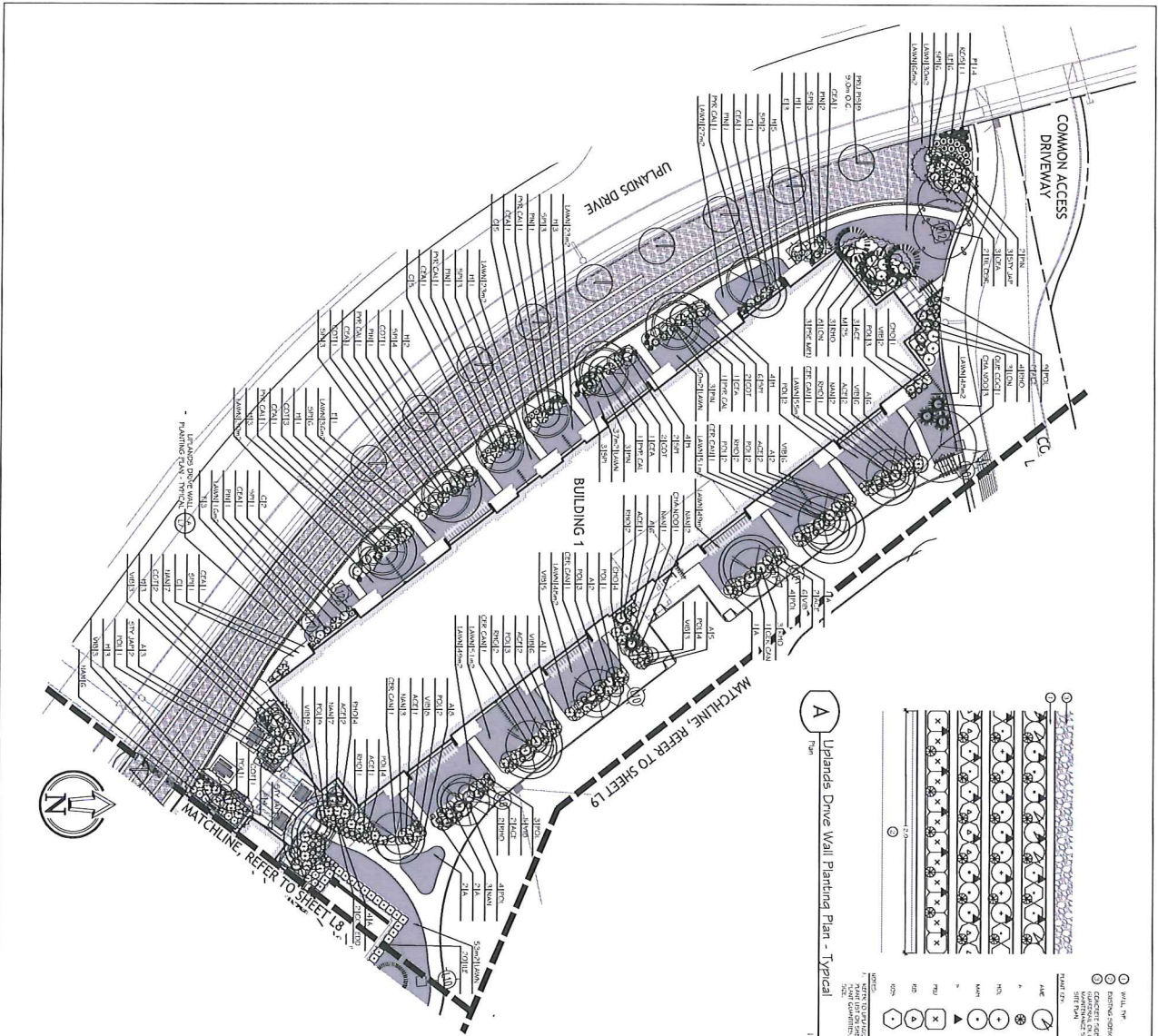
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Uplands Drive Wall Planting Plan - Typical
1:100 metric

PLANT LEGEND		SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QUANTITY	NOTES
1	Shrub	○	CRATAEGUS MONGOLICA 'PINKY PINKY'	50m O.C.	SEE PLAN	14	
2	Tree	○	FRAXINUS AMURICA	2.0m	SEE PLAN	16	
3	Groundcover	○	GERANIUM 'JORDAN WHITE WAGONER'	40m O.C.	SEE PLAN	24	
4	Climbing plant	○	ROSA 'MORNING GLORY'	50m O.C.	SEE PLAN	4	
5	Annual	○	HELIOPSIS SCOPULORUBRA	2.0m	SEE PLAN	14	
6	Perennial	○	PHLOX 'MORNING GLORY'	2.0m	SEE PLAN	3	
7	Tree	○	FRAXINUS AMURICA	50m O.C.	SEE PLAN	7	
8	Shrub	○	FRAXINUS AMURICA	50m O.C.	SEE PLAN	4	
9	Tree	○	FRAXINUS AMURICA	50m O.C.	SEE PLAN	15	
10	Tree	○	FRAXINUS AMURICA	50m O.C.	SEE PLAN	9	

REFER TO SHEET L9 FOR PLANTING NOTES

REVISION SCHEDULE		
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4	24JAN2019	Issued for Tender
5	01FEB2019	Appendix #1
6	15FEB2019	Issued for B
7	03MAY2019	Reissued for DP

PLANTING PLAN

Date: May 3, 2019
 Drawn: CA
 Checked: HG
 Scale: 1:250 metric
 Project Number: 18-0212

DRAWING NUMBER: L7 of 15

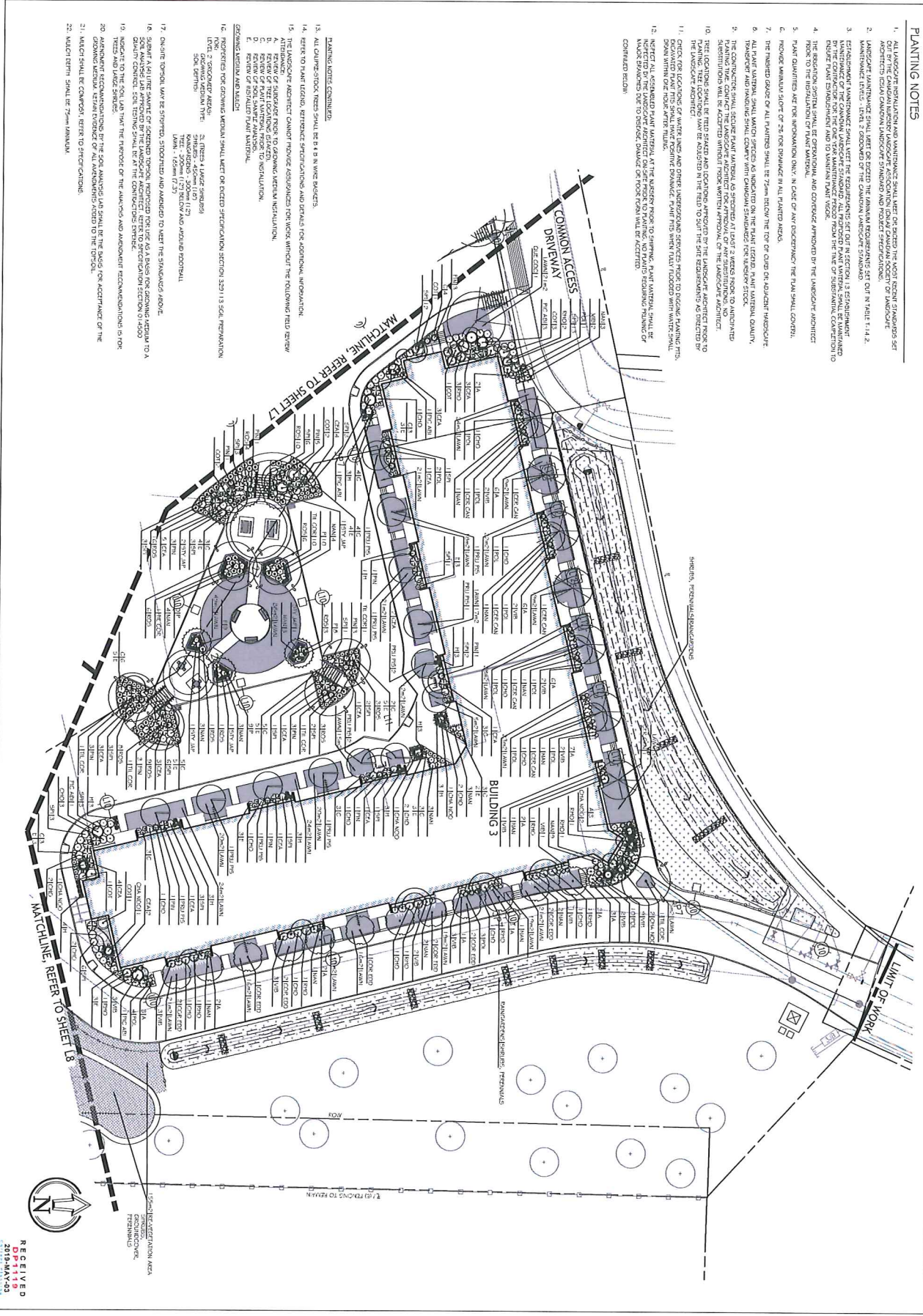
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PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).
2. LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).
3. ESTABLISHMENT OF PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).
4. THE INSTALLATION OF PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).
5. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY, THE FINAL SHALL GOVERN.
6. PROPOSED MINIMUM SPACING OF 25' IS TO BE MAINTAINED IN ALL PLANTING AREAS.
7. THE FINISHED GRADE OF ALL PLANTING SHALL BE 75mm BELOW THE TOP OF CURB OR EQUIVALENT HARDSCAPE.
8. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).
9. THE CONTRACTOR SHALL SECURE PLANT MATERIAL AS SPECIFIED AT LEAST 7 WEEKS PRIOR TO ANY PLANTING. THE CONTRACTOR SHALL SECURE PLANT MATERIAL AS SPECIFIED AT LEAST 7 WEEKS PRIOR TO ANY PLANTING.
10. PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).
11. CHECK FOR EXISTING OR WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO BEGINNING PLANTING. DO NOT BEGIN PLANTING UNTIL ALL SERVICES HAVE BEEN IDENTIFIED AND PROTECTED.
12. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE ASSOCIATION (CLA) STANDARD SPECIFICATIONS FOR THE CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA) CANADIAN LANDSCAPE ASSOCIATION (CLA) CANADIAN SOCIETY OF ARCHITECTS (CSA).



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6	01FEB2019	Addendum #1
7	15FEB2019	Issued for BP
8	03MAY2019	Released for DP

PLANTING PLAN

Date: May 3, 2019

Drawn: CM

Checked: NG

Scale: 1:250 metric

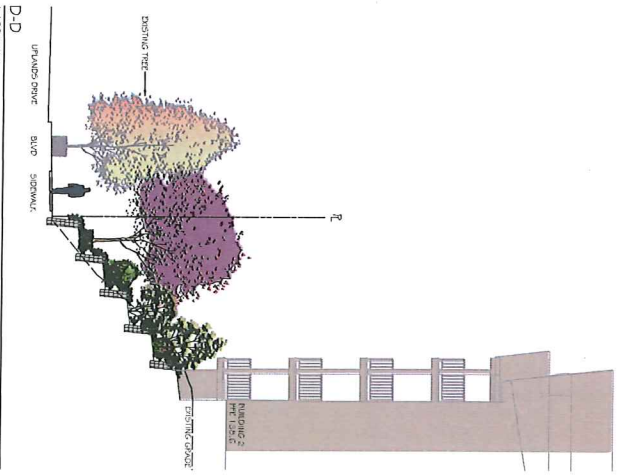
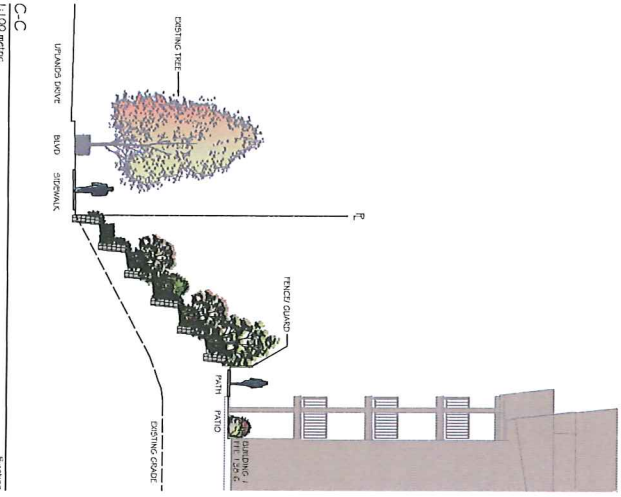
Project Number: 18-0212

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6	15FEB2019	Issued for EP
7	03MAY2019	Reissued for DP

SECTIONS

Date: May 3, 2019

Drawn: CM

Checked: HG

Scale: AS NOTED

Project Number: 18-0212

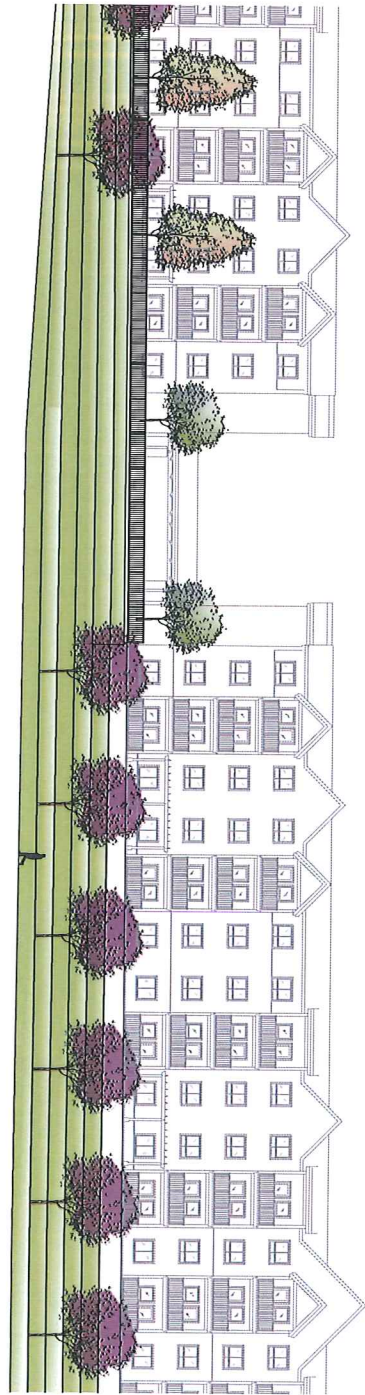
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Elevation



1.07m (42") Guardrail Sample
 Photo Courtesy: Alan J. Ford Concrete Products Ltd.
 (www.fordconcrete.com)

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7	03MAY2019	Reissued for DP

ELEVATION & PHOTO SAMPLE

Date: May 3, 2019
 Drawn: CG
 Checked: HG
 Scale: AS NOTED
 Project Number: 18-0212

DRAWING NUMBER: **L15 of 15**

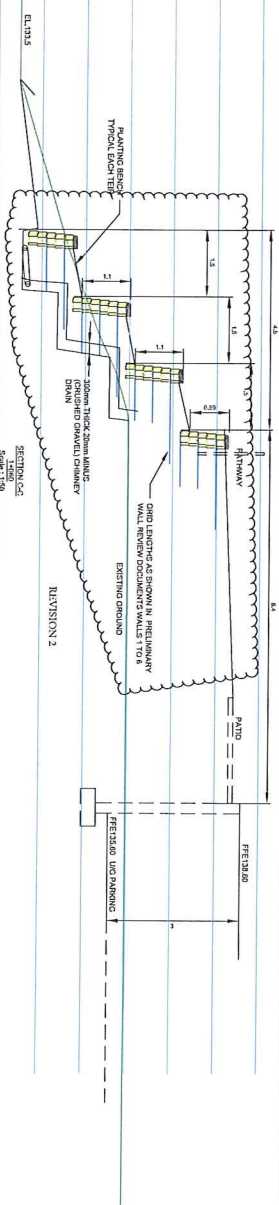
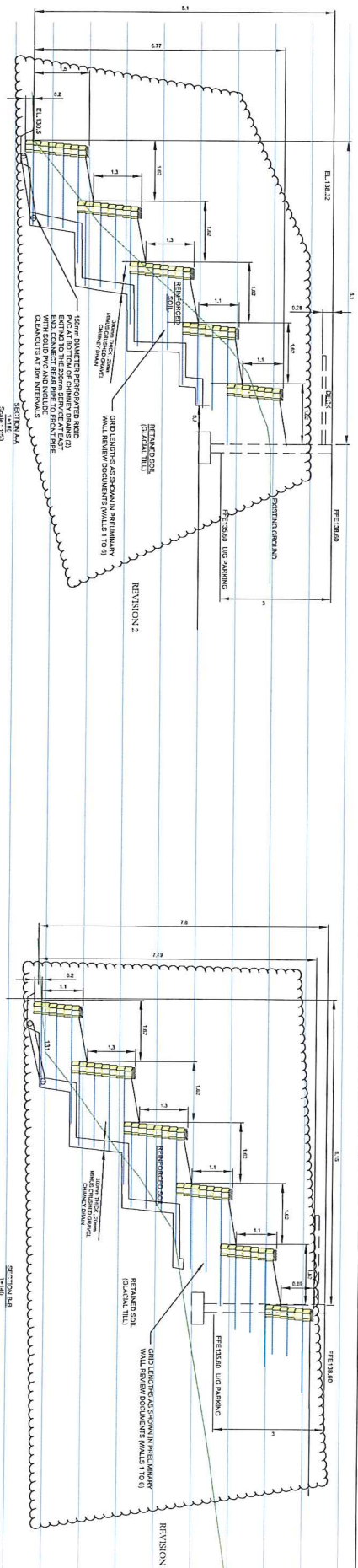
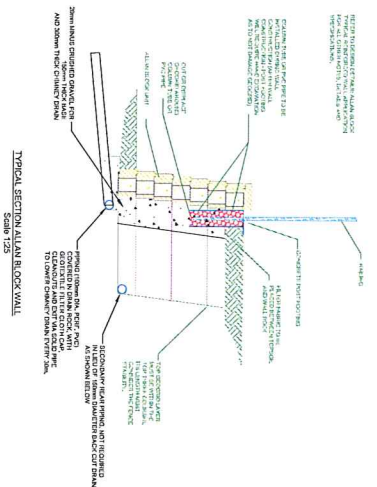
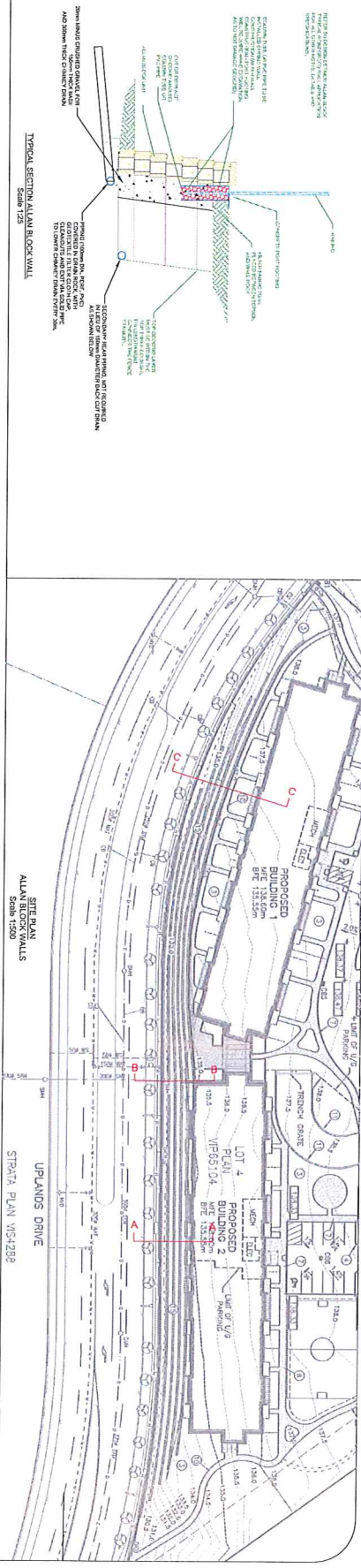
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Development Permit DP001119
6035 Linley Valley Drive and 4800 Uplands Drive
RETAINING WALL/ALLAN BLOCK DETAIL

Schedule F



NOTES:
 SEE PERMITS AND RECORDS FOR ALLAN BLOCK WALLS. THESE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PERMITS AND RECORDS. THE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PERMITS AND RECORDS. THE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PERMITS AND RECORDS.

REVISION 2
 SEE PERMITS AND RECORDS FOR ALLAN BLOCK WALLS. THESE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PERMITS AND RECORDS. THE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PERMITS AND RECORDS.

REV No.	DATE	BY	P. ENG.	REVISION DESCRIPTION	LEGEND	DRAWING TITLE	ENGINEER'S SEAL	PLOT DATE	DRAWN BY
01	JAN 31-19	JH	CH	UPDATED DESIGN	UPPLANDS DRIVE ALLAN BLOCK WALL	UPPLANDS DRIVE ALLAN BLOCK WALL	[Signature]	JAN 25 2019	JH
02	FEB 6 - 19	JH	CH	UPDATED DESIGN TENDER ADDENDUM #2	MULTI-RESIDENTIAL APARTMENTS	MULTI-RESIDENTIAL APARTMENTS	[Signature]		

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